

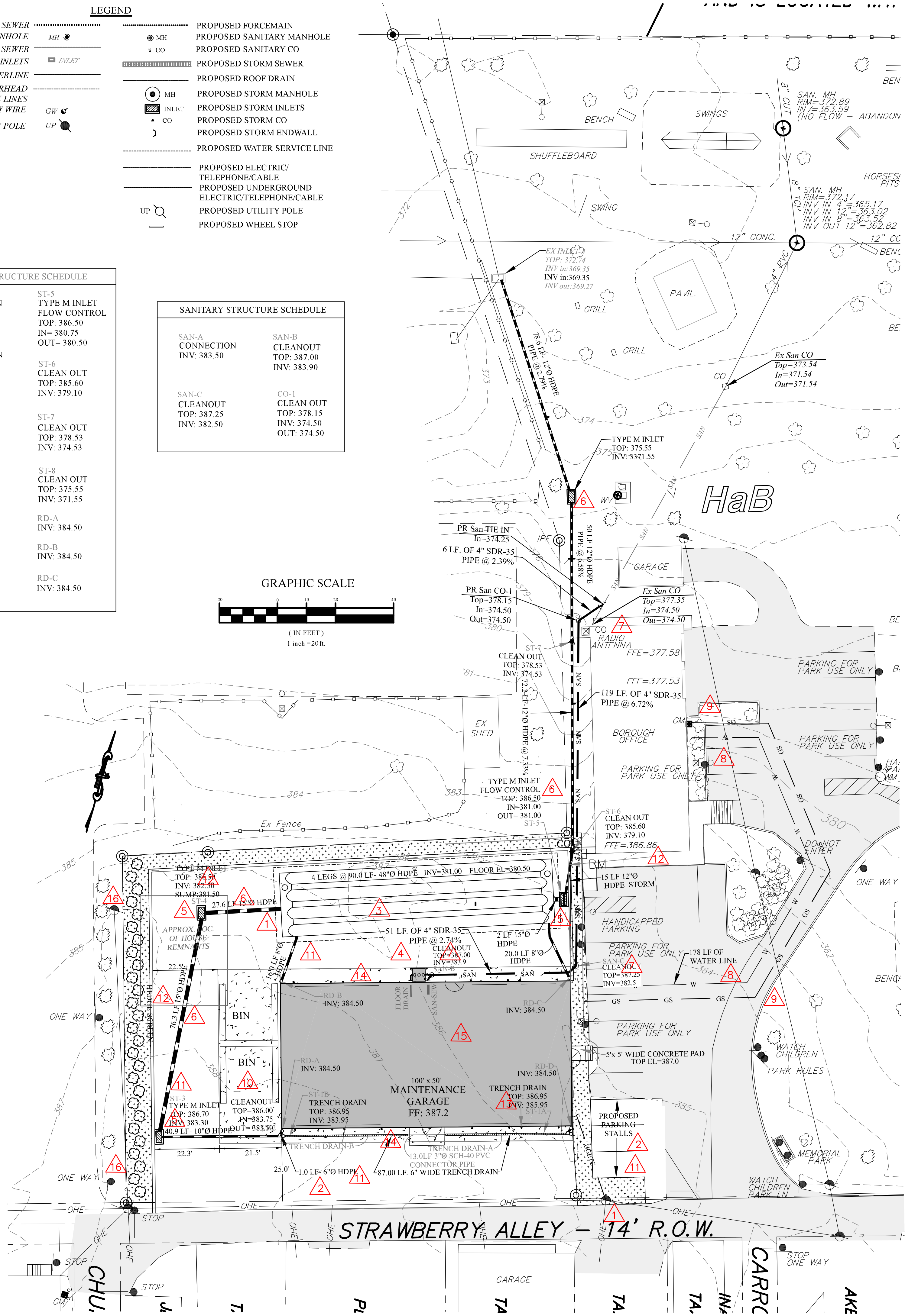
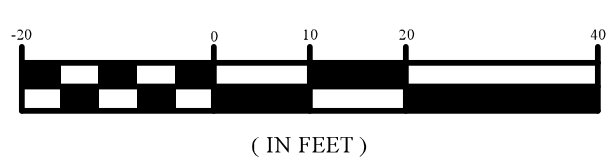
LEGEND

EXISTING SANITARY SEWER	-----	PROPOSED FORCEMAIN	-----
EXISTING SANITARY MANHOLE	MH	PROPOSED SANITARY MANHOLE	MH
EXISTING STORM SEWER	-----	PROPOSED SANITARY CO	CO
EXISTING STORM INLETS	INLET	PROPOSED STORM SEWER	-----
EXISTING WATERLINE	-----	PROPOSED ROOF DRAIN	-----
EXISTING OVERHEAD ELECTRIC LINES	-----	PROPOSED STORM MANHOLE	MH
EXISTING GUY WIRE	GW	PROPOSED STORM INLETS	INLET
EXISTING UTILITY POLE	UP	PROPOSED STORM CO	CO
		PROPOSED STORM ENDWALL	-----
		PROPOSED WATER SERVICE LINE	-----
		PROPOSED ELECTRIC/TELEPHONE/CABLE	-----
		PROPOSED UNDERGROUND ELECTRIC/TELEPHONE/CABLE	-----
		PROPOSED UTILITY POLE	UP
		PROPOSED WHEEL STOP	-----

SANITARY STRUCTURE SCHEDULE	
SAN-A CONNECTION INV: 383.50	SAN-B CLEANOUT TOP: 387.00 INV: 383.90
SAN-C CLEANOUT TOP: 387.25 INV: 382.50	CO-1 CLEAN OUT TOP: 378.15 INV: 374.50 OUT: 374.50

STORM STRUCTURE SCHEDULE	
ST-1A TRENCH DRAIN TOP: 386.95 INV: 385.95	ST-5 TYPE M INLET FLOW CONTROL TOP: 386.50 IN= 380.75 OUT= 380.50
ST-1B TRENCH DRAIN TOP: 386.95 INV: 383.95	ST-6 CLEAN OUT TOP: 385.60 INV: 379.10
ST-2 CLEANOUT TOP=386.00 IN=383.75 OUT= 383.50	ST-7 CLEAN OUT TOP: 378.53 INV: 374.53
ST-3 TYPE M INLET TOP: 386.70 INV: 383.30	ST-8 CLEAN OUT TOP: 375.55 INV: 371.55
ST-4 TYPE M INLET TOP: 386.30 INV: 382.50 SUMP: 381.50	RD-A INV: 384.50
	RD-B INV: 384.50
	RD-C INV: 384.50

GRAPHIC SCALE



PROPOSED SITE DEVELOPMENT WORK:

- THE FOLLOWING WORK TASKS ARE THE GENERAL SCOPE OF WORK, AND ARE NOT TO BE CONSTRUED AS THE ORDER OF WORK PERFORMED, NOR ALL WORK REQUIRED OF THIS PROJECT. REFER TO PLANS FOR GRAPHICAL ASPECTS OF OTHER REQUIRED WORK.
- COORDINATE WITH ELECTRIC COMPANY IF EXISTING POLE TO BE REPLACED. INSTALL NEW SERVICE TRANSFORMER AND UNDERGROUND ELECTRIC SERVICE LINE TO NEW BUILDING. COORDINATE WITH BUILDING ELECTRICAL PLAN.
 - SAWCUT EXISTING PAVEMENT FOR NEAT EDGE. RUBBERIZE TAPE SEAL ALL PAVEMENT INTERFACES AFTER SITE PAVING.
 - EXCAVATE AND INSTALL STORM WATER DETENTION TANKS. REFER TO CONSTRUCTION DETAILS FOR BEDDING, BACKFILL AND ELEVATIONS.
 - INSTALL OIL GREASE-WATER SEPARATOR TANK. COORDINATE WITH INTERIOR FLOOR DRAINAGE PIPING PLAN.
 - INSTALL TYPE "M" INLET STRUCTURE WITH GRATE TOP.
 - INSTALL STORM SEWER PIPE. ALL STORM SEWER & STRUCTURES ARE PRIVATELY OWNED & MAINTAINED BY SITE OWNER.
 - INSTALL SANITARY SEWER SERVICE LINE & CLEANOUT STRUCTURES AS NOTED ON PLAN. CONTRACTOR TO HAND-EXCAVATE AND LOCATE EXISTING SEWER LATERAL. CONNECTION POINT SHOWN ON PLAN IS CONCEPTUAL.
 - SAWCUT PAVEMENT AND INSTALL NEW WATER LINE. COORDINATE WITH ARCHITECT FOR WATERLINE SIZE AND MATERIAL. SERVICE CONNECTION IS ONTO THE EXISTING MUNICIPAL BUILDING WATER LINE. COORDINATE WITH WATER COMPANY FOR ADDITIONAL REQUIREMENTS AND IF ANY BACKFLOW PREVENTION REQUIRED. RESTORE PAVEMENT AND DISTURBED LAWN TO PRE-DISTURBANCE CONDITIONS.
 - SAWCUT PAVEMENT AND INSTALL NEW GAS SERVICE LINE. COORDINATE WITH ARCHITECT FOR GASLINE SIZE AND MATERIAL. SERVICE CONNECTION IS ONTO THE EXISTING MUNICIPAL BUILDING GAS LINE. COORDINATE WITH GAS COMPANY FOR ADDITIONAL REQUIREMENTS. RESTORE PAVEMENT AND DISTURBED LAWN TO PRE-DISTURBANCE CONDITIONS.
 - INSTALL CONCRETE PAD AND JERSEY BARRIERS. AREA TO BE UTILIZED AS BULK MATERIAL STORAGE.
 - INSTALL HEAVY DUTY ASPHALT. REFER TO CONSTRUCTION DETAILS.
 - INSTALL ASPHALT WEDGE CURB. REFER TO CONSTRUCTION DETAILS.
 - INSTALL BOLLARDS AT ALL SIDES TO GARAGE DOOR ENTRANCES. REFER TO CONSTRUCTION DETAILS.
 - INSTALL CONCRETE APPROACH APRONS. FRONT APRON TO HAVE TRENCH DRAIN IMPLEMENTED INTO IT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - INSTALL 100%30" CONCRETE BUILDING PAD. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MATERIAL, REINFORCEMENT AND FINISH.
 - INSTALL 25 UNITS OF WINTERGREEN HOLLY (ILEX VERTICILLATA) DECIDUOUS SHRUBS, SPACED AT 3'. ENSURE THE PLANT MIX CONSISTS OF BOTH MALE AND FEMALE VERSIONS. AMEND TESTED PLANTING SOIL PH AS REQUIRED TO OBTAIN ACIDIC RANGE. MULCH ALL GROUND WITH BARK MULCH.

SITE DEVELOPMENT GENERAL NOTES

- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 3 WORKING DAYS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND OTHER BUILDING APPURTENANCES. VERIFY DIMENSIONS AND LOCATIONS SHOWN ON THE ARCHITECTURAL PLANS AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATION OF ALL UTILITY CONNECTIONS TO BUILDINGS, AND DOORSTEP LOCATIONS. NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- THIS PROPERTY IS UNDERLAIN WITH CARBONATE ROCK AND THERE IS POTENTIAL FOR SINKHOLES. ACCORDINGLY, SPECIAL CONSTRUCTION PROCEDURES MAY BE REQUIRED AT THE DIRECTION OF THE BOROUGH ENGINEER.

CONSTRUCTION COORDINATION NOTES :

- ALL PROPOSED UTILITIES ARE TO BE INSTALLED TO 5' OF PROPOSED BUILDING.
- COORDINATE TRADES AS PER CONTRACT DOCUMENTS.

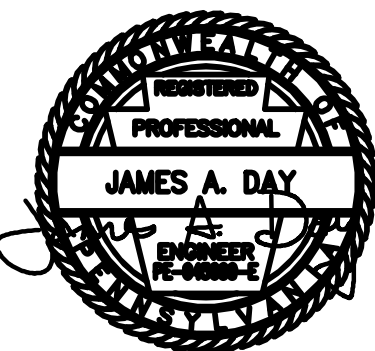
LANDSCAPE GENERAL NOTES

- NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF PLANT MATERIAL SHALL BE MADE WITHOUT THE APPROVAL OF OWNER.
- ALL PLANTS SHALL BE NURSERY GROWN, HEALTHY, VIGOROUS AND FREE OF ALL PESTS AND DISEASE.
- ALL GRADED AREAS NOT LANDSCAPED OR PAVED SHALL BE SMOOTH-GRADED INTO ADJACENT GRADES, AND HAVE TREE-BARK MULCH SURFACING APPLIED A MINIMUM OF 3" THICK PLACEMENT.

SITE DATA

SITE ZONING CLASSIFICATION: R-MT (MULTI-FAMILY RESIDENTIAL TOWN)
PROJECT SITE USE: INSTITUTIONAL (MUNICIPAL OFFICE ACCESSORY GARAGE BUILDING)
PROPERTY SETBACK REQUIREMENTS: FRONT YARD: 25'
SIDE YARD: 5'

DATE	02-26-2024
FILE NUMBER	15609.655
DRAWN BY	PDP
CHECKED BY	JAD
DRAWING NO.	C-2



SITE DEVELOPMENT PLAN

MUNICIPAL STORAGE GARAGE
SITUATE IN
SHIREMANSTOWN BOROUGH,
CUMBERLAND Co., PENNSYLVANIA
MADE FOR
SHIREMANSTOWN BOROUGH

DATE	BY	REVISION



GIBSON - THOMAS ENGINEERING CO.
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