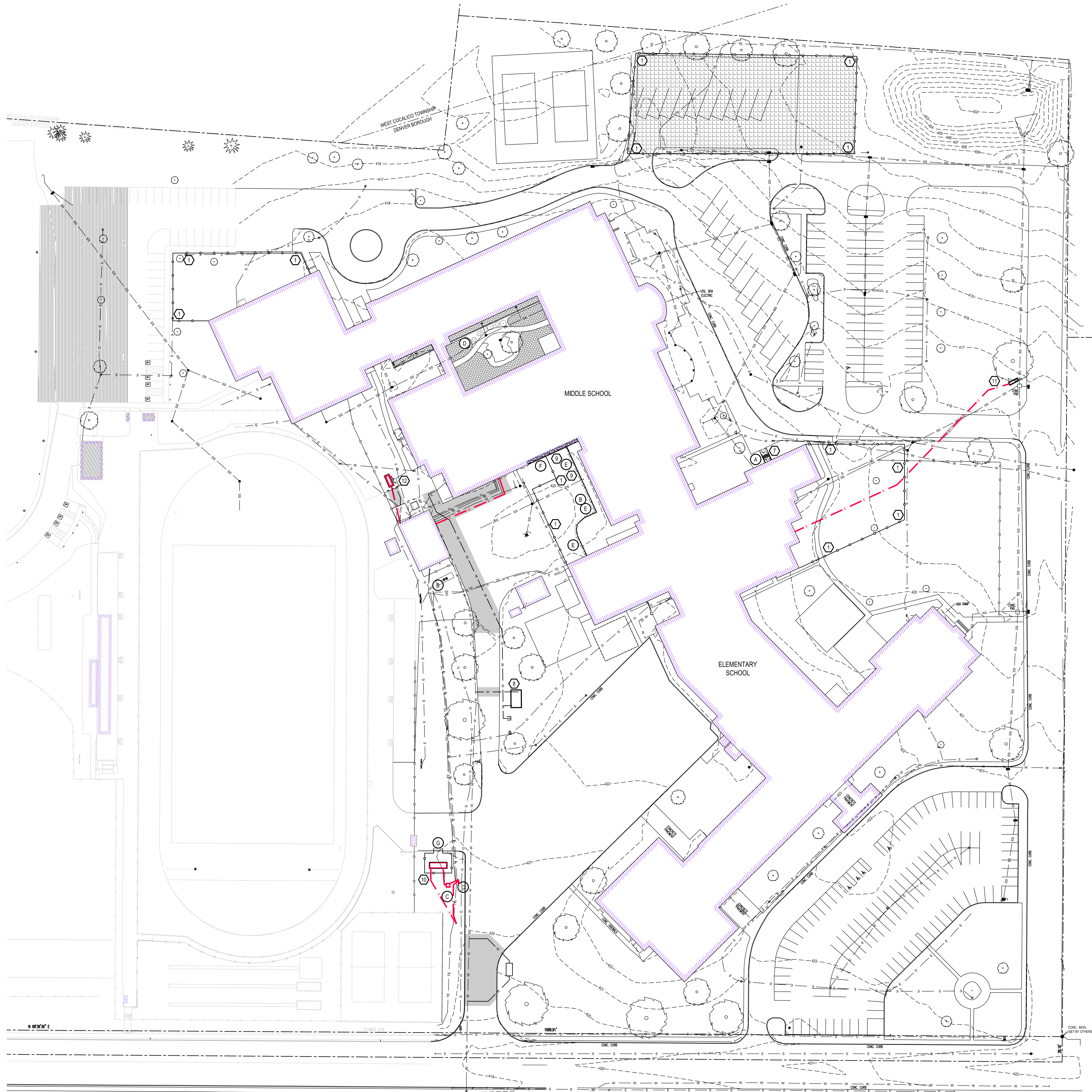


- KEYED SITE NOTES:**
- TEMPORARY CHAINLINK CONSTRUCTION FENCE - REFER TO DETAIL 1/SP-1, COORDINATE WITH PHASING PLANS
  - CONCRETE WASH-OUT AREA - REFER TO DETAIL 2/SP-1
  - PROJECT SIGN - GC COORDINATE FINAL LOCATION IN FIELD WITH OWNER AND ARCHITECT. REFER TO DETAIL ON THIS DRAWING.
  - CONTRACTOR LAYDOWN AREA / JOB TRAILERS
  - CONTRACTOR EMPLOYEE PARKING AREA
  - CONCRETE STAIRS, SIDEWALK AND ALUMINUM HANDRAIL - REFER TO DETAILS 3/SP-1, 4/SP-1 AND 5/SP-1.
  - FIRE PUMP BUILDING BY PC
  - REFER TO DRAWINGS A-6, A-82, AND A-D2 FOR CONCRETE SIDEWALK AND CURB REMOVAL AND REPLACEMENT
  - SWITCHGEAR BY EC. 8" HIGH CHAIN LINK FENCE ENCLOSURE BY GC - REFER TO MEDIUM VOLTAGE SWITCHGEAR DETAIL ON DRAWING E-2 FOR FENCE AND GATE DIMENSIONS AND CLEARANCES. REFER TO DETAILS 1 AND 2/AP-3 FOR FENCE DETAILS.
  - SITE SIGN - REFER TO DETAIL 6/SP-2
  - GENERATOR ENCLOSURE PAD AND BOLLARDS BY GC - REFER TO DETAIL 4 AND 7/SP-3. EC REFER TO E-1 DRAWING.

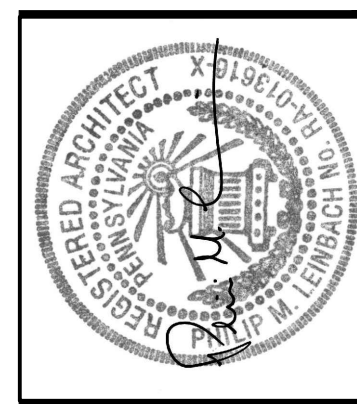
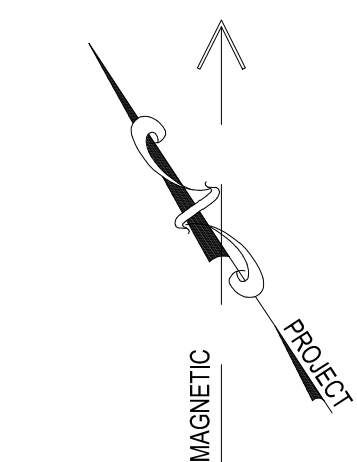
- SITE DEMOLITION NOTES:**
- REMOVE EXISTING CONCRETE STAIRS, SIDEWALK, GUARDRAILS AND HANDRAILS.
  - REMOVE EXISTING OIL TANK - BY HC
  - REMOVE EXISTING UTILITY POLE - BY EC
  - TREE DEMO (6 TREES TOTAL @ NORTH SIDE OF COURTYARD) - G.C. REMOVE STUMP ABOVE AND BELOW GRADE. AT CONTRACTOR'S OPTION, STUMP MAY BE PULLED COMPLETELY, OR GROUND TO A MINIMUM OF 36" BELOW GRADE.
  - REMOVE EXISTING CONCRETE CURBS.
  - REMOVE TOP OF EXISTING CONCRETE CURB AND CONCRETE SIDEWALK.
  - TREE DEMO - G.C. REMOVE STUMP ABOVE AND BELOW GRADE. AT CONTRACTOR'S OPTION, STUMP MAY BE PULLED COMPLETELY, OR GROUND TO A MINIMUM OF 36" BELOW GRADE.

- GENERAL SITE NOTES:**
- \*\* G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS \*\*
- \*\* ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED \*\*
- A) THE FOLLOWING NOTES ARE GENERAL IN NATURE AND MAY NOT FULLY INDICATE THE EXTENT OF THE WORK REQUIRED. COORDINATION WITH ALL DOCUMENTS IS REQUIRED TO DETERMINE THE WORK SCOPE. WORK NOT SPECIFICALLY INDICATED BUT REQUIRED FOR A COMPLETE INSTALLATION SHALL BE INCLUDED BY CONTRACTOR IN THEIR BID. REFER TO SPECIFICATIONS & DETAILS FOR ADDITIONAL INFORMATION.
- B) THE CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO THE START OF ANY WORK IN ANY AREA ON THE SITE. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS IN THEIR ENTIRETY PRIOR TO PERFORMING ANY WORK ON ANY PART OF THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK COMMENCING.
- C) NOT ALL EXISTING SUB-SURFACE UTILITIES AND LINES ARE SHOWN ON THIS SITE PLAN. CONTRACTOR SHALL REVIEW LAND DEVELOPMENT DRAWINGS AND CONSULT WITH OWNER TO VERIFY EXISTING CONDITIONS.
- D) ALL EXTERIOR CONCRETE SLABS, CURBS, SIDEWALK, PAVING, ETC. SHALL BE SEALED WITH CLEAR PENETRATING SEALER.
- E) ALL FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM 3,000 PSF SOIL BEARING CAPACITY. SOIL BEARING CAPACITY SHALL BE TESTED AND VERIFIED TO PROVIDE A MIN. 3,000 PSF CAPACITY. INFORM OWNER & ARCHITECT IF BEARING CAPACITY DOES NOT MEET MINIMUM STANDARDS.
- F) REFER TO LAND DEVELOPMENT DRAWINGS FOR LIMIT OF DISTURBANCE. ALL AREAS AFFECTED BY CONSTRUCTION ACTIVITY SHALL BE RESTORED.
- G) UTILITY TRENCHING, ENCASEMENT AND INSTALLATION SHALL BE PER DESIGN DOCUMENTS. MUNICIPAL REQUIREMENTS AND UTILITY PROVIDER REQUIREMENTS. MINIMIZE COMBINE UTILITIES WHERE POSSIBLE WHEN CROSSING EXISTING IMPERVIOUS CONSTRUCTION.
- H) EXISTING SITE CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE, OR AS REQUIRED TO ACCOMMODATE NEW WORK.
- I) ALL DEMOLITION SHALL BE COORDINATED WITH PROJECT PHASING SCHEDULE AND THE PROGRESS OF THE WORK TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.
- J) WHERE EQUIPMENT OR SYSTEMS ARE INDICATED FOR DEMOLITION, ALL PARTS AND ASSEMBLIES OF THE EQUIPMENT OR SYSTEMS SHALL BE REMOVED INCLUDING BLOCKING, SUPPORTS, HANGERS, ETC. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION FOR MEP DEMOLITION.
- K) ALL CONTRACTOR PARKING AND LAY DOWN AREAS SHALL BE WITHIN THE LIMITS OF CONSTRUCTION UNLESS APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER. ALL PARKING SHALL BE COORDINATED WITH THE OWNER'S ACTIVITIES AND NEEDS THROUGHOUT THE PROJECT.

- LEGEND**
- |     |  |     |   |
|-----|--|-----|---|
| --- | EXISTING CONTOUR LINE                                  | --- | EXISTING CONTOUR INTERVAL                           |
| --- | EXISTING SANITARY SEWER                                | --- | EXISTING STORM SEWER                                |
| --- | EXISTING GAS LINE (N.G.)                               | --- | EXISTING UNDERGROUND ELECTRIC                       |
| --- | EXISTING TELEPHONE LINE                                | --- | EXISTING TELEVISION CABLE                           |
| --- | EXISTING BUILDING                                      | --- | SEEDING LAWN AS SHOWN AND AT ALL DISTURBED AREAS    |
| --- | CONCRETE WALKS & PADS                                  | --- | MILL AND OVERLAY 2" ASPHALT                         |
| --- | REMOVE AND RECONSTRUCT PAVING SYSTEM                   | --- | TRAILER AND SEACAN LOCATION FOR DURATION OF PROJECT |
| --- | SECOND SHIFT - ALL CONTRACTOR PARKING IN THIS LOCATION | --- | POROUS PAVER UNITS                                  |



**SITE UTILIZATION PLAN**  
SCALE: 1" = 50'-0"



**AEM ARCHITECTS, INC.**  
3700 PERKIDOMEN AVENUE, READING, PA 19606-2795  
Phone: 610.779.3320 Fax: 610.779.8022 www.aem-arch.com

**1:50 SITE UTILIZATION PLAN**  
**RENOVATIONS TO THE COCCALICO MIDDLE SCHOOL**  
**COCCALICO SCHOOL DISTRICT**  
SOUTH 4TH STREET, DENVER BOROUGH, LANCASTER COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS  
SHALL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 23001.00  
DRAWN BY: JOK  
DATE: 04.12.24

**SP-1**